MANSFIELD SKI CLUB

MULMUR TOWNSHIP - DUFFERIN COUNTY

CLIENT:
MANSFIELD SKI CLUB INC.
628213 SIDE ROAD 15
MANSFIELD, ON
L9V 0T9
CONTACT:
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TORONTO, ON
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FLEISHER RIDOUT PARTNERSHIP
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CIVIL ENGINEERING:
WMI & ASSOCIATES LTD.
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ELECTRICAL ENGINEERING:
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COLLINGWOOD, ON
L9Y 3Z7
CONTACTS:
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e: grunge@rungeengineers.ca
t: (705) 446-3590

01 A0.1 PROJECT TEAM

ABBREVIATIONS

A.D.	AREA DRAIN	N.I.C.	NOT IN CONTRACT
AFB	ACOUSTIC FIRE BATT INS.	N.T.S.	NOT TO SCALE
A.F.F.	ABOVE FINISH FLOOR	O/C	ON CENTRE
ACT	ACOUSTIC CEILING TILE	O.D.	OUTSIDE DIAMETER
A.P.	ANUNCIATOR PANEL	P.H.	PANIC HARDWARE
ALUM	ALUMINUM	PL	PLATE
A.V.	AUDIO VISUAL	PLAM	PLASTIC LAMINATE
AWP-1	ACOUSTIC WALL PANEL	PLYWD.	PLYWOOD
B.F.	BARRIER FREE	PCT	PORCELAIN TILE
BH	BULK HEAD	PREFIN.	PREFINISHED
BN	BULLNOSED	PNT	PAINT FINISH
BV	BRICK VENEER	PT	PRESSURE TREATED
CB	CORKBOARD	PTD	PAPER TOWEL DISPENSER
C.B.	CONCRETE BLOCK	R/A	RETURN AIR
CLG	CEILING	R.D.	ROOF DRAIN
C.J.	CONTROL JOINT	REINF.	REINFORCED
CONC	CONCRETE	REQ'D	REQUIRED
CONCS	SEALED CONC.	RVL	REVEAL
CONCH	HARDENED & SEALED CONC.	R.O.	ROUGH OPENING
CONCP	HARDENED, SEALED & POLISHED CONC.	RT	RUBBER TREAD
		RUB	RUBBER BASE
CONT.	CONTINUOUS	RWL	RAIN WATER LEADER
CP	CONTROL PANEL	SB	SOUND BLOCK
CPT	CARPET	SD	SOAP DISPENSER
CPTT	CARPET TILE	S.D.G.	SEALED DOUBLE GLAZING
CT	CERAMIC TILE	SF	SPORTS FLOORING
C/W	COMPLETE WITH	SHV	SHEET VINYL FLOORING
D.F.	DRINKING FOUNTAIN	SIM.	SIMILAR
EJ	EXPANSION JOINT	SOG	SLAB ON GRADE
E.P.	ELECTRICAL PANEL	SP	SPRINKLER
EPX	EPOXY PAINT & PRIMER	SPC	SPECIAL COATING
EX	EXPOSED	S.S.	STAINLESS STEEL
EXIST.	EXISTING	ST	STONE
FDN	FOUNDATION	STL	STEEL
F.E.C.	FIRE EXTINGUISHER CABINET	STN	STAIN FINISH
F.R.	FIRE RATED	STR	STRUCTURE
FRR	FIRE RESISTANCE RATING	SUSP	SUSPENDED
FTG	FOOTING	TB	TACKBOARD
GL	GLAZING	TBC	TO BE CONFIRMED
G.B. / GYP. BD.	GYPSUM BOARD	T.G.	TEMPERED GLASS
		TM	TILTED MIRROR
GWG	GEORGIAN WIRED GLASS	TP	TOILET PAPER DISPENSER
H.M.	HOLLOW METAL	T/O	TOP OF
H.B.	HOSE BIB	TYP.	TYPICAL
HDWD	HARDWOOD	U.N.O.	UNLESS NOTED OTHERWISE
HD	HAND / HAIR DRYER	U/S	UNDERSIDE
H.S.S.	HOLLOW STEEL SECTION	VB	VAPOUR BARRIER
HT.	HEIGHT	VCT	VINYL COMPOSITE TILE
I.D.	INSIDE DIAMETER	V.O.J.	VERIFY ON JOB SITE
INS.	INSULATION	WB	WHITEBOARD
LIN	LINOLEUM	W/	WITH
M.O.	MASONRY OPENING	W/R / W.R.	WASHROOM
M	MIRROR	WD.	WOOD
MTL.	METAL	WIN.	WINDOW
N/A	NON-APPLICABLE	WPF	WATERPROOF FLOOR
N	SAN. NAPKIN DISPENSER	WPG	WATERPROOFING
ND	SAN. NAPKIN DISPOSAL	WSC	WOOD SOLID CORE

02 A0.1 TYPICAL ABBREVIATIONS

ARCHITECTURAL DRAWING LIST:

A0.1	COVER PAGE: PROJECT TEAM, DRAWING LIST, TYP. ABBREVIATIONS
A0.2	VIEWS OF THE VILLAGE CORE

LANDSCAPE DRAWING LIST:

SP.1	SITE PLAN
SP.2	VILLAGE CORE SITE PLAN

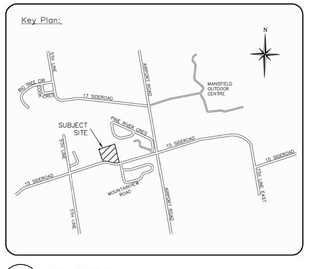
CIVIL ENGINEERING DRAWING LIST:

SGPN	SITE GRADING PLAN NORTH
SGPS	SITE GRADING PLAN SOUTH
GENN	SITE SERVICING PLAN NORTH
GENS	SITE SERVICING PLAN SOUTH
SSOP	SITE SERVICING OUTLET PLAN
SMPLP	WETLAND AND PROPOSED SNOW MAKING POND LOCATION PLAN
DOP	DOWNSTREAM DRAINAGE OUTLET PLAN
ESC	EROSION AND SEDIMENT CONTROL PLAN

ELECTRICAL ENGINEERING DRAWING LIST:

E1	LIGHTING LAYOUT
E2	PHOTOMETRICS

03 A0.1 DRAWING LIST



07 A0.1 KEY SITE PLAN

05 A0.1 VIEW OF THE VILLAGE CORE
N.T.S.

06 A0.1 VIEW OF THE VILLAGE CORE
N.T.S.

REVISIONS

NO.	DATE	PARTICULAR
01	2020.02.04	ISSUED FOR SITE PLAN APPROVAL

NOTES:

ONTARIO ASSOCIATION OF ARCHITECTS
PETER A. BERTON
LICENCE
3666

All dimensions and measurements must be checked and verified by the General Contractor

Reproduction of drawings and related documents in whole or in part is forbidden without written permission of the Venturi Group

CLIENT:
MANSFIELD SKI CLUB INC.
628213 SIDE ROAD 15
MULMUR, ON
L9V 0T9

PROJECT:
21573

MANSFIELD SKI CLUB

628213 SIDE ROAD 15
MULMUR, ON
L9V 0T9

ORIGINAL PAGE SIZE ARCH D - 24" x 36"

KEY TO DETAIL LOCATION:
A - DETAIL NO.
B - DETAIL NO. ORIGIN

+VG ARCHITECTS
THE VENTIN GROUP LTD

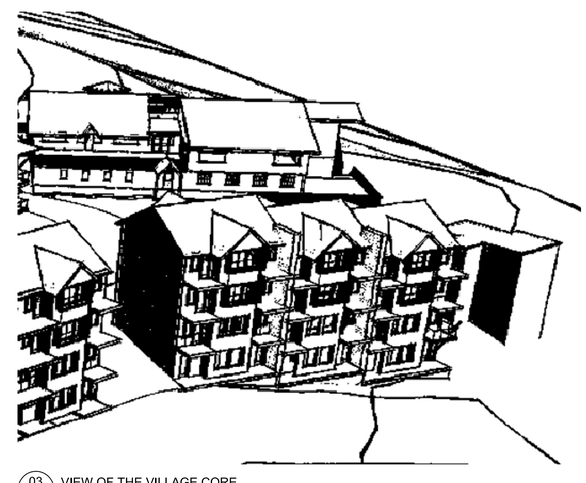
COVER SHEET

A0.1

Plot Date: Feb 07, 2020 - 10:51am By: PIETRO Filename: Y:\Residential\21573 - Mansfield Ski Club\DWGS\SPA\21573 - A0 - Cover.dwg

01 A0.2 VIEW OF THE VILLAGE CORE
N.T.S.

02 A0.2 VIEW OF THE VILLAGE CORE
N.T.S.



03 A0.2 VIEW OF THE VILLAGE CORE
N.T.S.

REVISIONS

NO.	DATE	PARTICULAR
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3666

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MULMUR, ON
L9V 0T9

PROJECT:
21573

MANSFIELD SKI CLUB

628213 SIDE ROAD 15
MULMUR, ON
L9V 0T9

ORIGINAL PAGE SIZE ARCH D - 24" x 36"
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+VG ARCHITECTS
THE VENTIN GROUP LTD

VIEWS OF THE VILLAGE CORE

A0.2

Plot Date: Feb 07 2020 - 10:57am By: PIETRO
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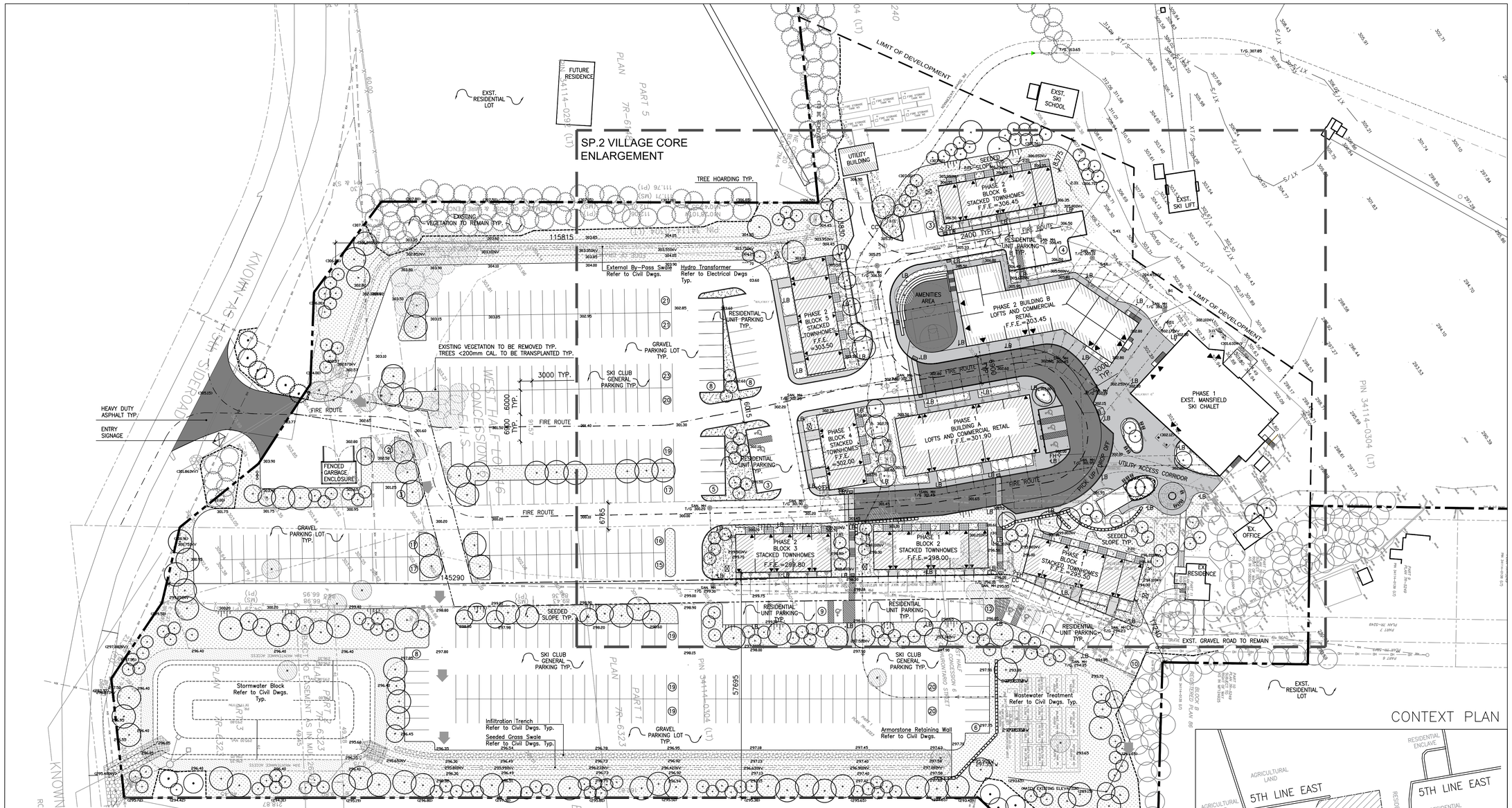


BUILDING STATISTICS

	BUILDING AREA	# OF RESIDENTIAL UNITS	RESIDENTIAL AREA	RETAIL AREA	DEVELOPMENT PHASE
BUILDING 'A'	630.0m²	10	1,260.0m²	945.0m²	1
BUILDING 'B'	780.0m²	15	1,560.0m²	780.0m²	2
BLOCK-1	345.0m²	12	1,170.0m²		1
BLOCK-2	345.0m²	12	1,170.0m²		1
BLOCK-3	290.0m²	10	972.0m²		2
BLOCK-4	230.0m²	8	780.0m²		1
BLOCK-5	345.0m²	12	1,170.0m²		2
BLOCK-6	345.0m²	12	1,170.0m²		2
TOTAL	**3,310.0m²**	**91**	**9,252.0m²**	**1,725.0m²**	

*NOTE: ALL BUILDING STATISTICS TO GROSS ALL AREAS UP BY 20% TO ACCOUNT FOR SERVICE AREAS

PARKING STATISTICS

TOTAL PROPOSED PARKING STALLS	**371**
TOTAL PROPOSED ACCESSIBLE PARKING STALLS	**9**

PHASE 1 AND 2 SITE PLAN 1:500

LEGEND

- PROPERTY LINE
- FIRE ROUTE — PROPOSED FIRE TRUCK ACCESS ROUTE
- WATER SERVICE LINE
- SANITARY SEWER LINE
- OVERLAND FLOW
- ENTRANCE
- 1M HT. FENCE
- ACCESSIBLE PARKING
- PAINTED LINES
- UNIT PAVING
- CONCRETE SIDEWALK
- HEAVY DUTY ASPHALT
- SOD
- SEEDED AREA
- NEW LIGHT STANDARD
- NEW FIRE HYDRANT
- BOULDER
- BOLLARD
- CD — CURB DEPRESSION
- CC — CURB CUT
- NEW HYDRO TRANSFORMER
- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE TRANSPLANTED ON SITE
- EXISTING TREE GROUPING TO REMAIN
- EXISTING TREE GROUPING TO BE REMOVED
- TREE HOARDING
- PROPOSED DECIDUOUS TREE
- PROPOSED CONIFEROUS TREE
- SHRUB/PERENNIAL PLANTING

GENERAL NOTES:

1. ALL CONSTRUCTION HOARDING AND TREE PROTECTION TO BE INSTALLED PRIOR TO START OF OPERATIONS.
2. EXISTING CONDITIONS PLAN OF SURVEY BY RODNEY GEYER, O.L.S. INC. DATED FEBRUARY 16, 2016.
3. CONTRACTOR TO VERIFY ALL SITE CONDITIONS AND REPORT ANY DISCREPANCIES TO THE CONSULTANT IMMEDIATELY.
4. LAYOUT ALL WORK FOR INSPECTION AND APPROVAL BY CONSULTANT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
5. CONTRACTOR RESPONSIBLE FOR ANY AND ALL UNDERGROUND UTILITIES.
6. CONTRACTOR TO LAY OUT ALL SITE FURNISHINGS FOR CONSULTANT / OWNER REVIEW AND FINAL FIELD ADJUSTMENT PRIOR TO CONTRACTOR AFFIXING SITE FURNISHINGS TO HARD SURFACES.
7. CONTRACTOR TO ENSURE POSITIVE DRAINAGE FROM ALL STRUCTURES.
8. CONTRACTOR TO MAKE GOOD ALL DAMAGE TO ANY EXISTING OR ADJACENT CONDITIONS/ STRUCTURES DURING CONSTRUCTION TO THE SATISFACTION AND ACCEPTANCE OF THE CONSULTANT.

FLEISHER RIDOUT PARTNERSHIP INC.
l.a.n.d.s.c.a.p.e a.r.c.h.i.t.e.c.t.s
1877 Davenport Road
Toronto, Ontario, M6N 1B9
ph (416) 533-4990
info@frpinc.ca

ISSUE	DATE	REMARKS
1	FEBRUARY 4, 2020	ISSUED FOR SITE PLAN APPROVAL

ONTARIO ASSOCIATION OF LANDSCAPE ARCHITECTS — B.J. FLEISHER — MEMBER

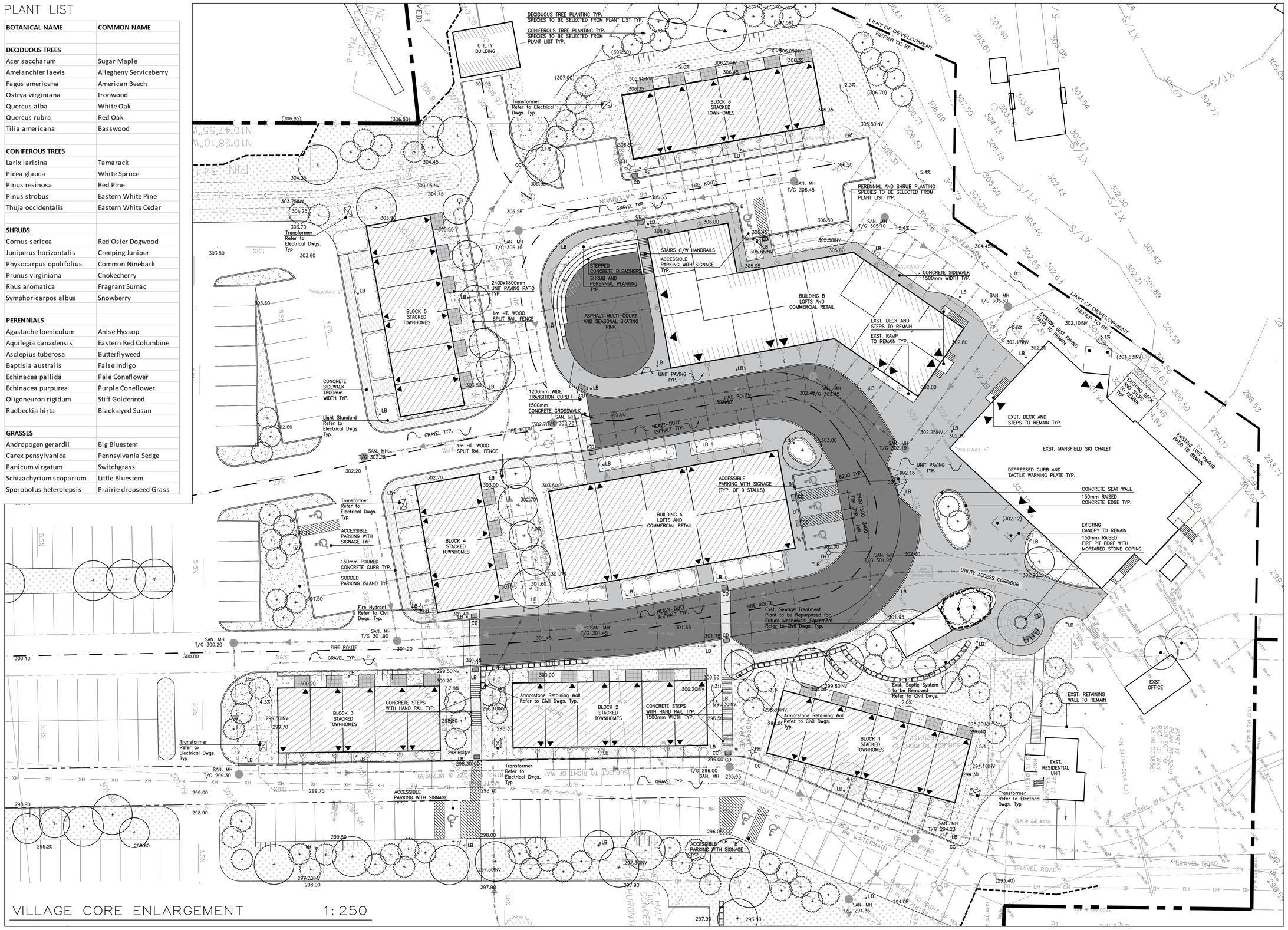
Project Name:
MANSFIELD SKI CLUB
628213 SIDE ROAD 15
Mulmur, ON L9V 0T9

Drawing Title:
SITE PLAN

Drawn: JC	Design: BF	Date: JANUARY 2020
Checked: BF	Apprvd: BF	Scale: 1:500
CADD File: 151352		Dwg. No.: SP.1

PLANT LIST

BOTANICAL NAME	COMMON NAME
DECIDUOUS TREES	
Acer saccharum	Sugar Maple
Amelanchier laevis	Allegheny Serviceberry
Fagus americana	American Beech
Ostrya virginiana	Ironwood
Quercus alba	White Oak
Quercus rubra	Red Oak
Tilia americana	Basswood
CONIFEROUS TREES	
Larix laricina	Tamarack
Picea glauca	White Spruce
Pinus resinosa	Red Pine
Pinus strobus	Eastern White Pine
Thuja occidentalis	Eastern White Cedar
SHRUBS	
Cornus sericea	Red Osier Dogwood
Juniperus horizontalis	Creeping Juniper
Physocarpus opulifolius	Common Ninebark
Prunus virginiana	Chokecherry
Rhus aromatica	Fragrant Sumac
Symphoricarpos albus	Snowberry
PERENNIALS	
Agastache foeniculum	Anise Hyssop
Aquilegia canadensis	Eastern Red Columbine
Asclepius tuberosa	Butterflyweed
Baptisia australis	False Indigo
Echinacea pallida	Pale Coneflower
Echinacea purpurea	Purple Coneflower
Oligoneuron rigidum	Stiff Goldenrod
Rudbeckia hirta	Black-eyed Susan
GRASSES	
Andropogen gerardii	Big Bluestem
Carex pensylvanica	Pennsylvania Sedge
Panicum virgatum	Switchgrass
Schizachyrium scoparium	Little Bluestem
Sporobolus heterolepsis	Prairie dropseed Grass



VILLAGE CORE ENLARGEMENT 1:250

LEGEND

- PROPERTY LINE
- FIRE ROUTE — PROPOSED FIRE TRUCK ACCESS ROUTE
- WATER SERVICE LINE
- SANITARY SEWER LINE
- ENTRANCE
- 1M HT. WOOD SPLIT RAIL FENCE
- ACCESSIBLE PARKING
- PAINTED LINES
- UNIT PAVING
- CONCRETE SIDEWALK
- HEAVY DUTY ASPHALT
- SOD
- SEEDED AREA
- PROPOSED LIGHT STANDARD
- PROPOSED FIRE HYDRANT
- BOULDER
- LB — LIGHT BOLLARD
- CD — CURB DEPRESSION
- CC — CURB CUT
- PROPOSED HYDRO TRANSFORMER Refer to Electrical
- EXISTING TREE TO REMAIN
- EXISTING TREE GROUPING TO REMAIN
- TREE HOARDING
- PROPOSED DECIDUOUS TREE
- PROPOSED CONIFEROUS TREE
- SHRUB/PERENNIAL PLANTING

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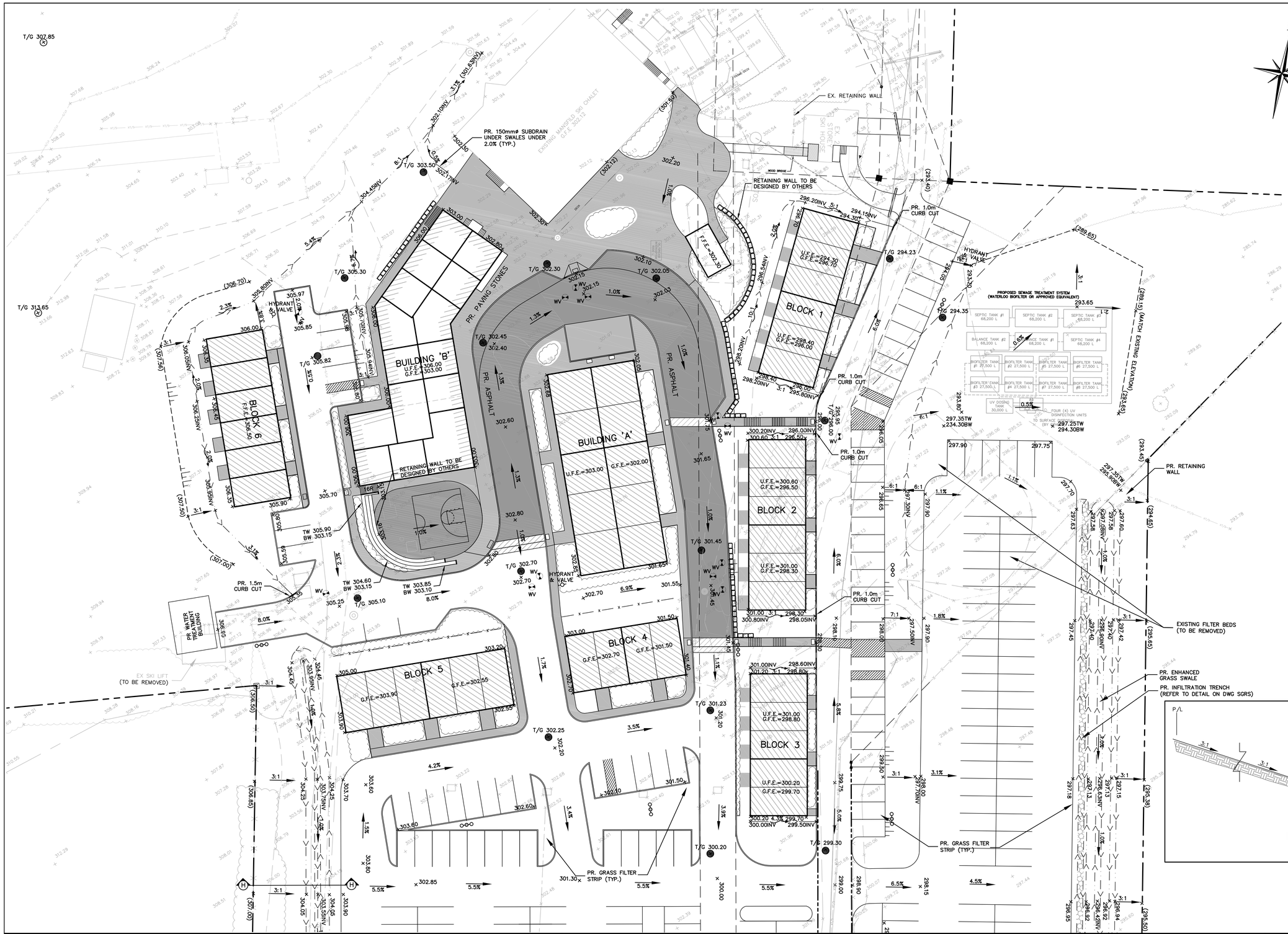
628213 SIDE ROAD 15
Mulmur, ON L9V 0T9

Drawing Title:
VILLAGE CORE SITE PLAN

Drawn: JC	Design: BF	Date: JANUARY 2020
Checked: BF	Apprvd: BF	Scale: 1:250
CADD File: 151352		Dwg. No.: SP.2



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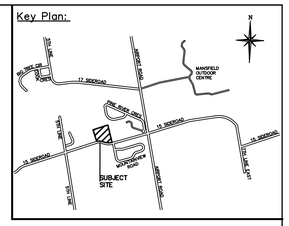


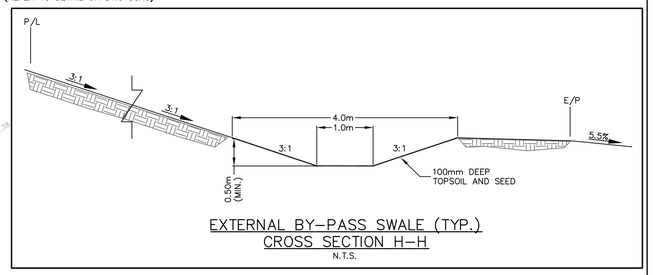
Legend:

EXISTING FEATURES (EX)

EX SIB, EX IB, EX UP	EX STD IRON BAR, EX IRON BAR, EX UTILITY POLE, EX BELL PED
EX WS, EX HYD, NS, SS, 123.45	EX WATER SERVICE, EX FIRE HYD., EX ST NAME SIGN, EX STOP SIGN, EX ELEVATION
FEN, GAS, XB, BH, BP, TP, EX WV, EX SAN @ 0.0%, EX STM @ 0.0%	EX FENCE, EX U/G GASMAIN, EX U/G BELL, EX HYDRO, EX BOTTOM OF SLOPE, EX TOP OF SLOPE, EX WATERMAIN & VALVE, EX SAN SEWER & MH, EX STM SEWER & MH

PROPOSED FEATURES (PR)

NS	PR STREET NAME SIGN
SS	PR STOP SIGN
SF	PR SILT FENCE
L	PR STREET LIGHT
W	PR WATER SERVICE
S	PR SAN SERVICE
	PR HYDRO TRANSFORMER
00mmø W/M	PR WATERMAIN
	PR FIRE HYDRANT
	PR WATER VALVE
0m–00mmø SAN @ 0.0%	PR SAN SEWER
MH K	PR SANITARY MANHOLE
0m–00mmø STM @ 0.0%	PR STM SEWER
MH 4	PR CATCHBASIN MANHOLE
MH 4	PR MANHOLE
	PR CATCHBASIN
000.00	PROPOSED ELEVATION
(000.00)	PR. MATCH EXISTING ELEVATION (INTERPOLATED)
	PR SWALE
	PR STRAW BALE CHECK DAM
	PR HEAVY DUTY ASPHALT
	PR UNIT PAVING
U.F.E	UPPER FLOOR ELEVATION
G.F.E	GROUND FLOOR ELEVATION



EXTERNAL BY–PASS SWALE (TYP.)
CROSS SECTION H–H
N.T.S.

CAUTION
CONTRACTOR TO DETERMINE LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.

Notes:

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5. This drawing is the exclusive property of WMI & Associates Ltd. and the reproduction of any part of this document without prior written consent is strictly prohibited.

Benchmark: 463.937m

ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE DERIVED FROM CANNET NETWORK BASE STATION ORVL HAVING A PUBLISHED ELEVATION OF 463.937m

No.	Issue / Revision	Date
1	Client Review	March 2, 2016
2	FSR Submission	June 23, 2016
3	FSR Submission	Aug. 9, 2017
4	SPA 1st Submission	FEB. 7, 2020

Mansfield Ski Club

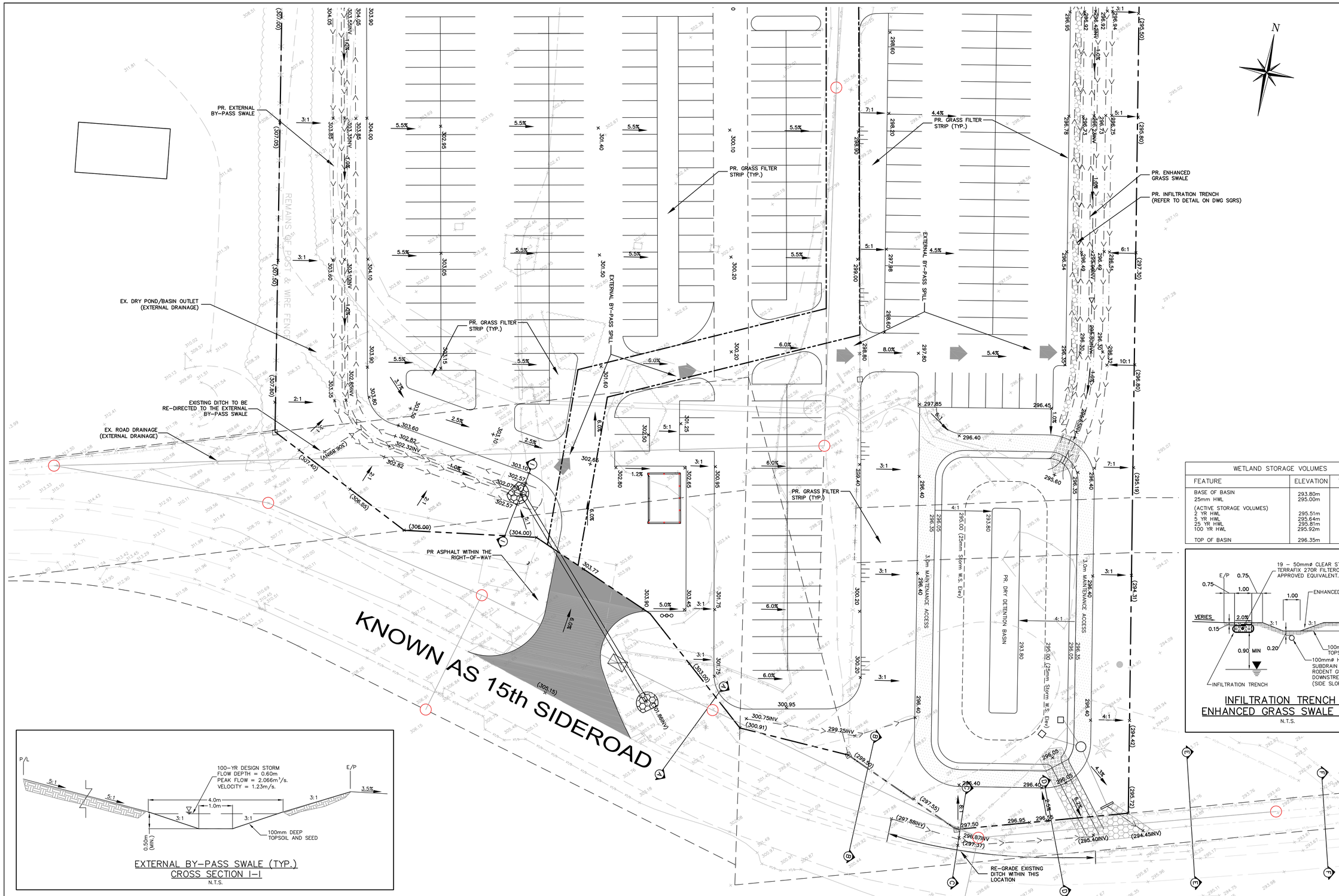
SITE GRADING PLAN NORTH

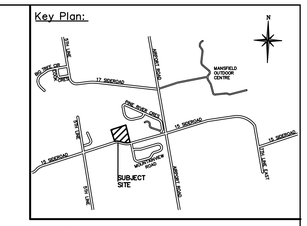
Client:
Mansfield Ski Club
628213 15th Sideroad
PO Box 75 RPO Mansfield,
Mulmur, Ontario
L9V 3M6

WMI & Associates Limited
119 Collier Street
Barrie, Ontario
L4M 1H5
Ph 705-797-2027
www.wmiengineering.ca

Drawn By	Checked By	Drawing No.
TG	JWL	SGRN
Scale 1:300	Project No. 15–319	

\\WMI-SERVER\wmi-server\Data\Projects\2015\15-319\CAD\WMI\Issue_No3\Level_1-Models\200124-Baseplan_15-319_1.dwg, SGRN, 1:1





Legend:

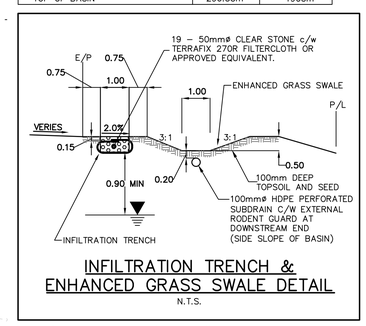
EXISTING FEATURES (EX)

- EX SIB / EX IB — EX STD IRON BAR / EX IRON BAR
- EX UP — EX UTILITY POLE
- EX BELL PED
- EX WS — EX WATER SERVICE
- EX HYD — EX FIRE HYD.
- NS — EX ST NAME SIGN
- SS — EX STOP SIGN
- 123.45 — EX ELEVATION
- EX FENCE
- GAS — EX U/G GASMAIN
- XB — EX U/G BELL
- EX HYDRO
- EX BOTTOM OF SLOPE
- EX TOP OF SLOPE
- EX WV — EX WATERMAIN & VALVE
- EX SAN — EX SAN SEWER & MH
- EX STM — EX STM SEWER & MH

PROPOSED FEATURES (PR)

- NS — PR STREET NAME SIGN
- SS — PR STOP SIGN
- SF — PR SILT FENCE
- PR STREET LIGHT
- W — PR WATER SERVICE
- S — PR SAN SERVICE
- PR HYDRO TRANSFORMER
- 00mmø W/M — PR WATERMAIN
- PR FIRE HYDRANT
- PR WATER VALVE
- 0m–00mmø SAN @ 0.0% — PR SAN SEWER
- MH K — PR SANITARY MANHOLE
- 0m–00mmø STM @ 0.0% — PR STM SEWER
- MH 4 — PR CATCHBASIN MANHOLE
- MH 4 — PR MANHOLE
- PR CATCHBASIN
- 000.00 — PROPOSED ELEVATION
- (000.00) — PR. MATCH EXISTING ELEVATION (INTERPOLATED)
- PR SWALE
- PR STRAW BALE CHECK DAM

WETLAND STORAGE VOLUMES		
FEATURE	ELEVATION	VOLUME
BASE OF BASIN	293.80m	0m³
25mm HWL	295.00m	520m³
(ACTIVE STORAGE VOLUMES)		
2 YR HWL	295.51m	400m³
5 YR HWL	295.64m	530m³
25 YR HWL	295.81m	710m³
100 YR HWL	295.92m	840m³
TOP OF BASIN	296.35m	1905m³



INFILTRATION TRENCH & ENHANCED GRASS SWALE DETAIL

N.T.S.

EXTERNAL BY-PASS SWALE (TYP.) CROSS SECTION I–I

N.T.S.

CAUTION

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Benchmark: 463.937m

ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE DERIVED FROM CANNET NETWORK BASE STATION ORVL HAVING A PUBLISHED ELEVATION OF 463.937m

No.	Issue / Revision	Date
1	Client Review	March 2, 2016
2	FSR Submission	June 23, 2016
3	FSR Submission	Aug. 9, 2017
4	SPA 1st Submission	FEB. 7, 2020

Mansfield Ski Club

SITE GRADING PLAN SOUTH

Client:

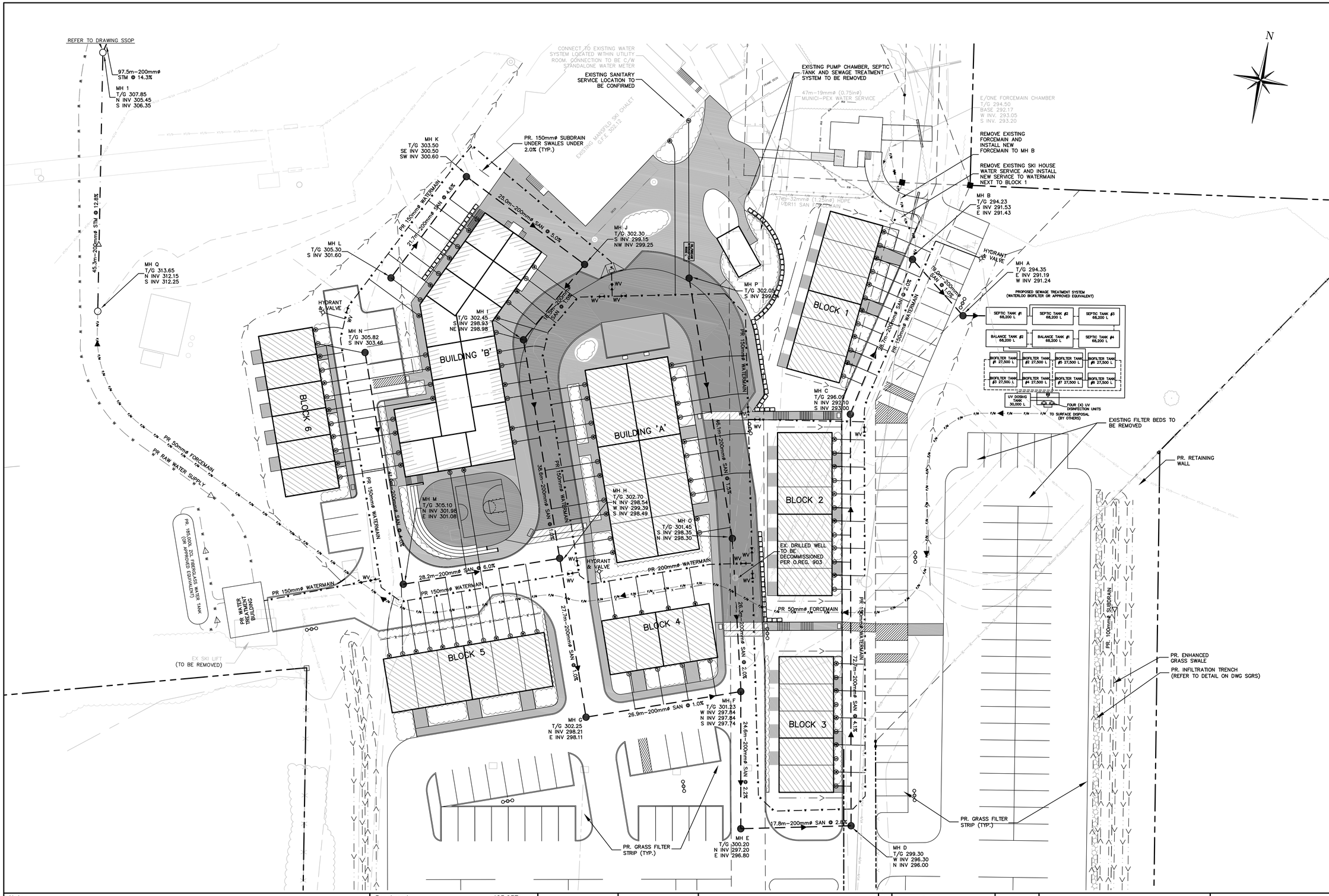
Mansfield Ski Club

628213 15th Sideroad
PO Box 75 RPO Mansfield,
Mulmur, Ontario
L9V 3M6

WMI & Associates Limited
119 Collier Street
Barrie, Ontario
L4M 1H5
Ph 705-797-2027
www.wmiengineering.ca

Drawn By	Checked By	Drawing No.
TG	JWL	SGRS
Scale 1:300	Project No. 15–319	

\\WMI-SERVER\wmi-server\Data\Projects\2015\15-319\CAD\WMI\Issue_No3\Level_1-Models\200124-Baseplan_15-319_1.dwg, SGRS, 1:1



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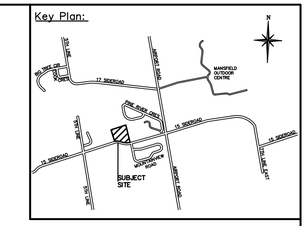

Legend:

EXISTING FEATURES (EX)

- EX SIB / EX IB — EX STD IRON BAR
- EX IRON BAR
- EX UP — EX UTILITY POLE
- EX BELL PED
- EX WS — EX WATER SERVICE
- EX HYD — EX FIRE HYD.
- NS — EX ST NAME SIGN
- SS — EX STOP SIGN
- x123.45 — EX ELEVATION
- EX FENCE
- GAS — EX U/G GASMAIN
- XB — EX U/G BELL
- HX — EX HYDRO
- EX BOTTOM OF SLOPE
- EX TOP OF SLOPE
- EX WV — EX WATERMAIN & VALVE
- EX SAN @ 0.0% — EX SAN SEWER & MH
- EX STM @ 0.0% — EX STM SEWER & MH

PROPOSED FEATURES (PR)

- NS — PR STREET NAME SIGN
- SS — PR STOP SIGN
- SF — PR SILT FENCE
- PR STREET LIGHT
- W — PR WATER SERVICE
- S — PR SAN SERVICE
- PR HYDRO TRANSFORMER
- 00mmø W/M — PR WATERMAIN
- PR FIRE HYDRANT
- PR WATER VALVE
- 0m–00mmø SAN @ 0.0% — PR SAN SEWER
- MH K — PR SANITARY MANHOLE
- 0m–00mmø STM @ 0.0% — PR STM SEWER
- MH 4 — PR CATCHBASIN MANHOLE
- MH 4 — PR MANHOLE
- PR CATCHBASIN
- x 000.00 — PROPOSED ELEVATION
- x (000.00) — PR. MATCH EXISTING ELEVATION (INTERPOLATED)
- PR SWALE
- PR STRAW BALE CHECK DAM

CAUTION

CONTRACTOR TO DETERMINE LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.

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Benchmark: 463.937m

ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE DERIVED FROM CANNET NETWORK BASE STATION ORVL HAVING A PUBLISHED ELEVATION OF 463.937m

No.	Issue / Revision	Date
1	Client Review	March 2, 2016
2	FSR Submission	June 23, 2016
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4	SPA 1st Submission	FEB. 7, 2020

Mansfield Ski Club

SITE SERVICING PLAN NORTH

Client:

Mansfield Ski Club

628213 15th Sideroad
PO Box 75 RPO Mansfield,
Mulmur, Ontario
L9V 3M6

WMI & Associates Limited
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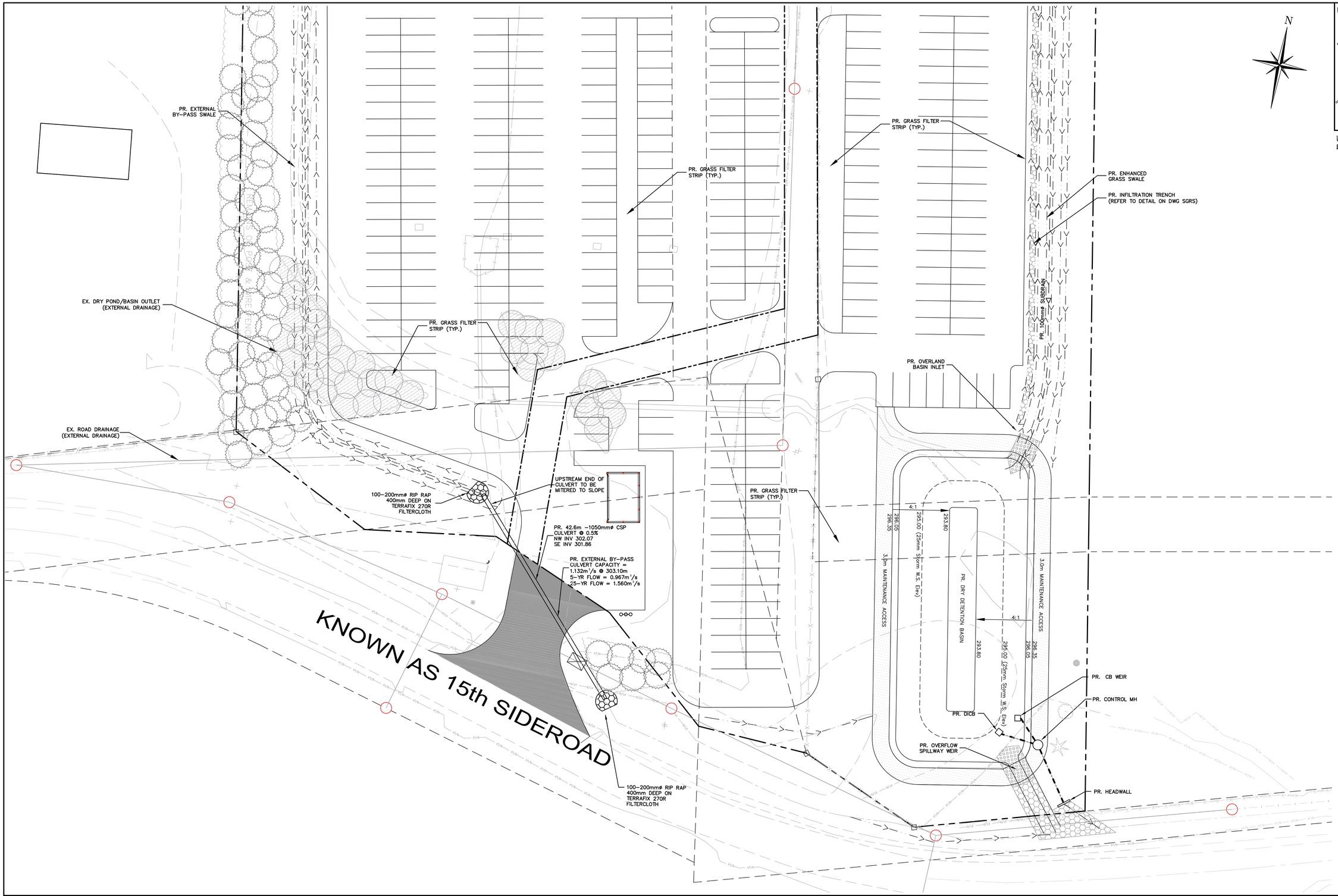
Ph 705-797-2027
www.wmiengineering.ca

Drawn By	Checked By	Drawing No.
TG	JWL	GENN
Scale 1:300	Project No. 15-319	

\\WMI-SERVER\wmi-server\Data\Projects\2015\15-319\CAD\WMI\Issue_No3\Level_1-Models\200124-Baseplan_15-319_1.dwg, GENN, 1:1



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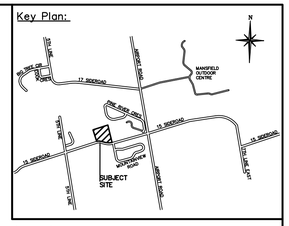

Legend:

EXISTING FEATURES (EX)

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- EX IB — EX IRON BAR
- EX UP — EX UTILITY POLE
- EX BELL PED
- EX WS — EX WATER SERVICE
- EX HYD — EX FIRE HYD.
- NS — EX ST NAME SIGN
- SS — EX STOP SIGN
- x123.45 — EX ELEVATION
- EX FENCE
- GAS — EX U/G GASMAIN
- XB — EX U/G BELL
- HX — EX HYDRO
- EX WV — EX WATERMAIN & VALVE
- EX SAN @ 0.0% — EX SAN SEWER & MH
- EX STM @ 0.0% — EX STM SEWER & MH

PROPOSED FEATURES (PR)

- NS — PR STREET NAME SIGN
- SS — PR STOP SIGN
- SF — PR SILT FENCE
- L — PR STREET LIGHT
- W — PR WATER SERVICE
- S — PR SAN SERVICE
- PR HYDRO TRANSFORMER
- 00mmø W/M — PR WATERMAIN
- PR FIRE HYDRANT
- PR WATER VALVE
- 0m-00mmø SAN @ 0.0% — PR SAN SEWER
- MH K — PR SANITARY MANHOLE
- 0m-00mmø STM @ 0.0% — PR STM SEWER
- MH 4 — PR CATCHBASIN MANHOLE
- MH 4 — PR MANHOLE
- PR CATCHBASIN
- x 000.00 — PROPOSED ELEVATION
- x (000.00) — PR. MATCH EXISTING ELEVATION (INTERPOLATED)
- PR SWALE
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CAUTION

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2	FSR Submission	June 23, 2016
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Mansfield Ski Club

SITE SERVICING PLAN SOUTH

Client:

Mansfield Ski Club

628213 15th Sideroad
PO Box 75 RPO Mansfield,
Mulmur, Ontario
L9V 3M6

WMI & Associates Limited
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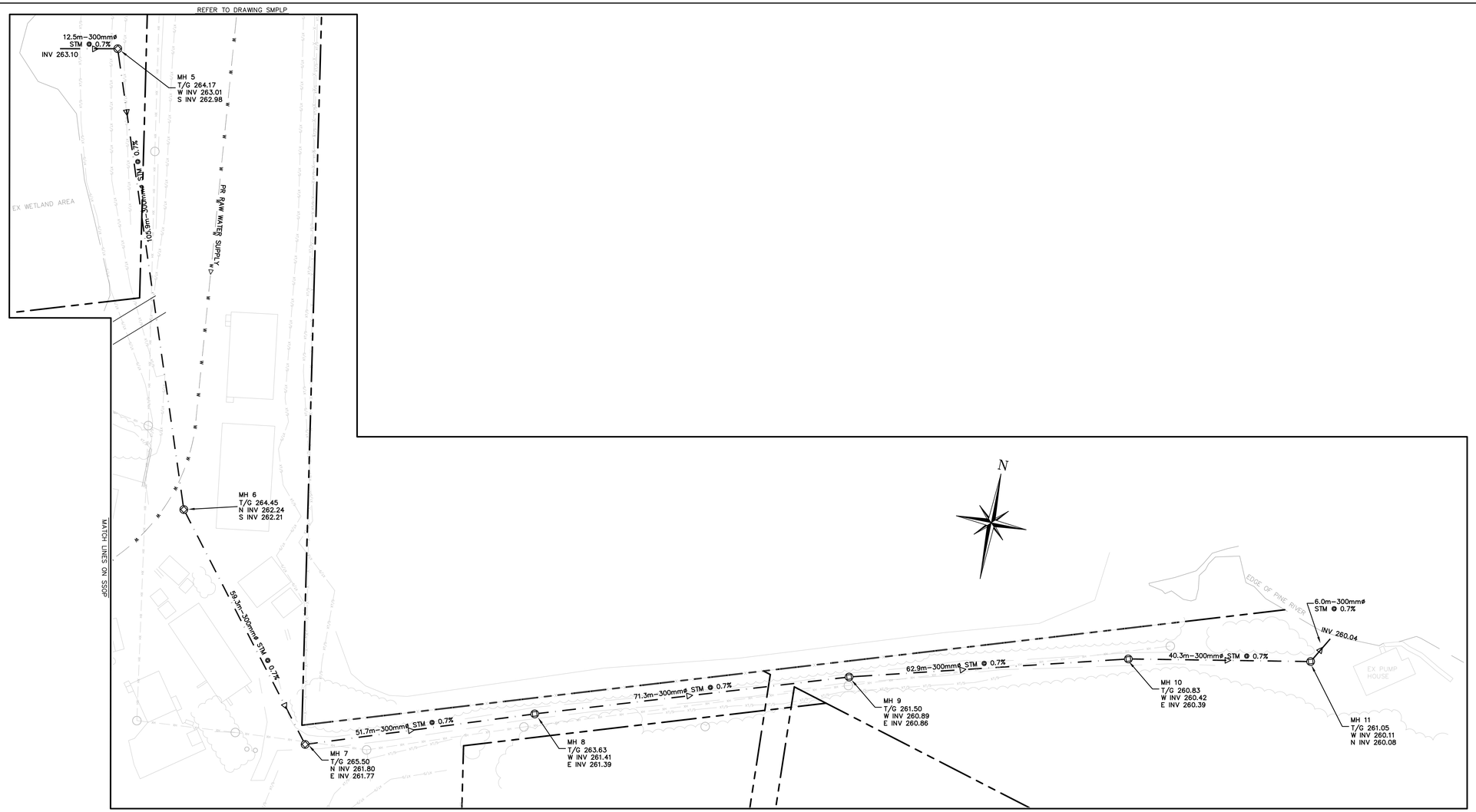
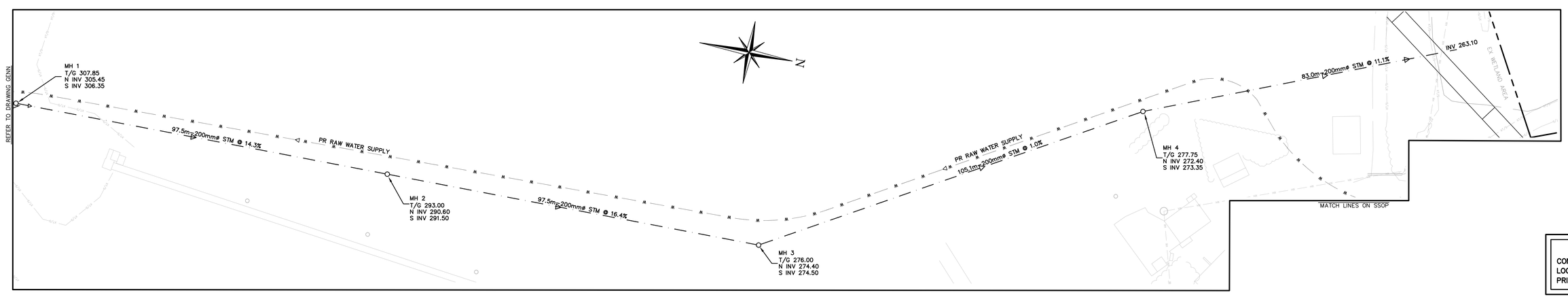
Ph 705-797-2027
www.wmiengineering.ca

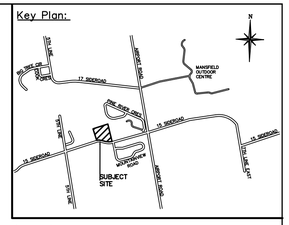
Drawn By	Checked By	Drawing No.
TG	JWL	GENS
Scale 1:250	Project No. 15-319	

\\WMI-SERVER\wmi-server\Data\Projects\2015\15-319\CAD\WMI\Issue_No3\Level_1-Models\200124-Baseplan_15-319_1.dwg, GENS, 1:1





Key Plan:



Legend:

EXISTING FEATURES (EX)

- EX SIB — EX STD IRON BAR
- EX IB — EX IRON BAR
- EX UP — EX UTILITY POLE
- EX BELL PED
- EX WS — EX WATER SERVICE
- EX HYD — EX FIRE HYD.
- NS — EX ST NAME SIGN
- SS — EX STOP SIGN
- x123.45 — EX ELEVATION
- EX FENCE
- GAS — EX U/G GASMAIN
- XB — EX U/G BELL
- HX — EX HYDRO
- XB/S — EX BOTTOM OF SLOPE
- XT/S — EX TOP OF SLOPE
- EX WV — EX WATERMAIN & VALVE
- EX SAN @ 0.0% — EX SAN SEWER & MH
- EX STM @ 0.0% — EX STM SEWER & MH

PROPOSED FEATURES (PR)

- NS — PR STREET NAME SIGN
- SS — PR STOP SIGN
- SF — PR SILT FENCE
- L — PR STREET LIGHT
- W — PR WATER SERVICE
- S — PR SAN SERVICE
- PR HYDRO TRANSFORMER
- 00mmø W/M — PR WATERMAIN
- PR FIRE HYDRANT
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- 0m–00mmø SAN @ 0.0% — PR SAN SEWER
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- MH 4 — PR MANHOLE
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- x 000.00 — PROPOSED ELEVATION
- x (000.00) — PR. MATCH EXISTING ELEVATION (INTERPOLATED)
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CAUTION

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Benchmark: 463.937m

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No.	Issue / Revision	Date
1	FSR Submission	Aug. 9, 2017
2	SPA 1st Submission	FEB. 7, 2020

Mansfield Ski Club

SITE SERVICING OUTLET PLAN

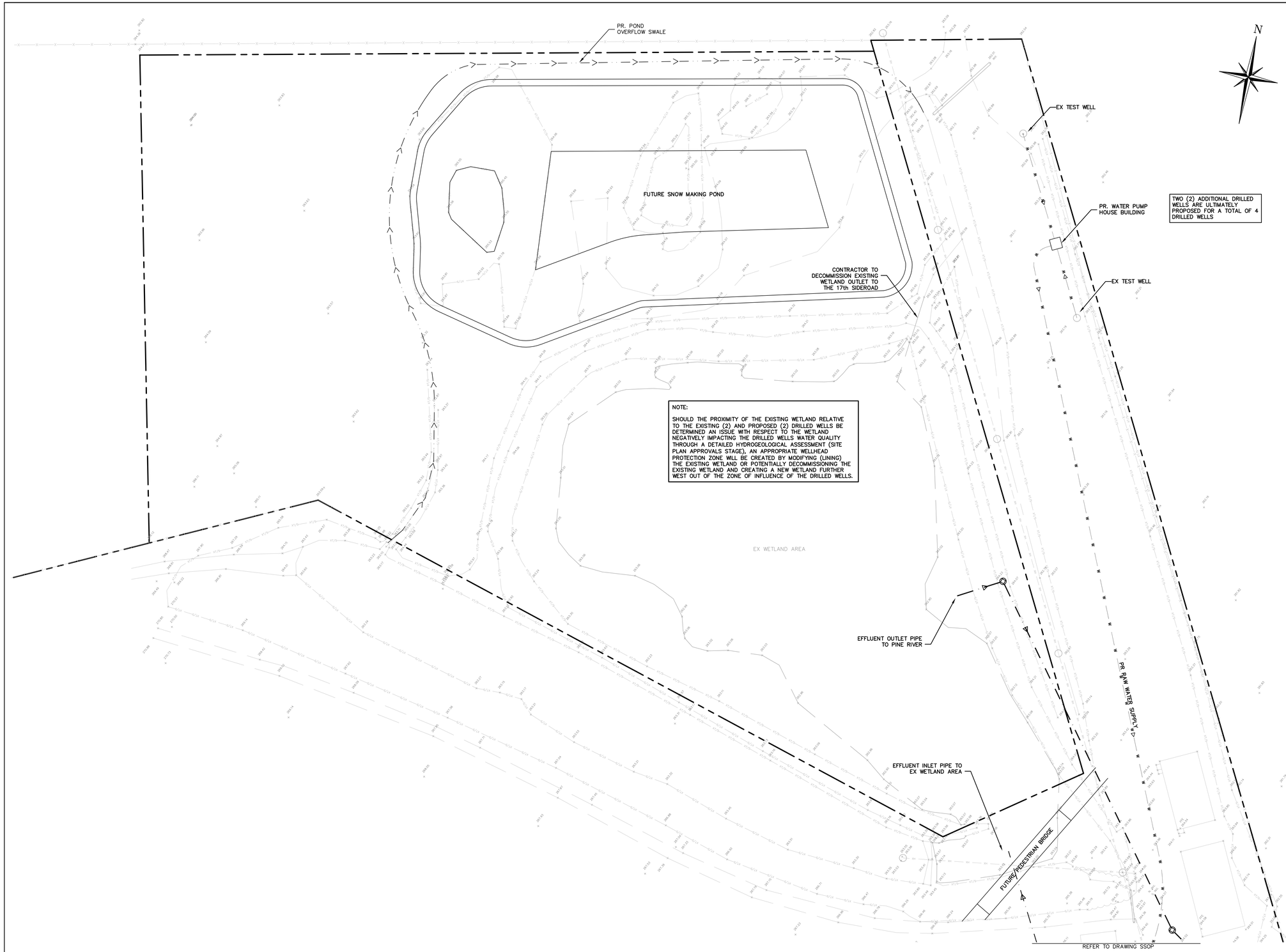
Client:

Mansfield Ski Club

628213 15th Sideroad
PO Box 75 RPO Mansfield,
Mulmur, Ontario
L9V 3M6

WMI & Associates Limited
119 Collier Street
Barrie, Ontario
L4M 1H5
Ph 705-797-2027
www.wmiengineering.ca

Drawn By	Checked By	Drawing No.
TG	JWL	SSOP
Scale 1:500	Project No. 15–319	

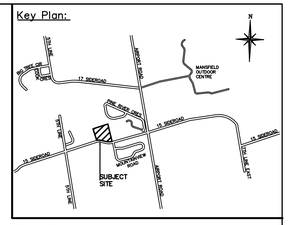


TWO (2) ADDITIONAL DRILLED WELLS ARE ULTIMATELY PROPOSED FOR A TOTAL OF 4 DRILLED WELLS

NOTE:

SHOULD THE PROXIMITY OF THE EXISTING WETLAND RELATIVE TO THE EXISTING (2) AND PROPOSED (2) DRILLED WELLS BE DETERMINED AN ISSUE WITH RESPECT TO THE WETLAND NEGATIVELY IMPACTING THE DRILLED WELLS WATER QUALITY THROUGH A DETAILED HYDROGEOLOGICAL ASSESSMENT (SITE PLAN APPROVALS STAGE), AN APPROPRIATE WELLHEAD PROTECTION ZONE WILL BE CREATED BY MODIFYING (LINING) THE EXISTING WETLAND OR POTENTIALLY DECOMMISSIONING THE EXISTING WETLAND AND CREATING A NEW WETLAND FURTHER WEST OUT OF THE ZONE OF INFLUENCE OF THE DRILLED WELLS.

Key Plan:



Legend:

EXISTING FEATURES (EX)

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- EX HYD — EX FIRE HYD.
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- x123.45 — EX ELEVATION
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- XB — EX U/G BELL
- EX HYDRO
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CAUTION

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Benchmark: 463.937m

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No.	Issue / Revision	Date
1	FSR Submission	Aug. 9, 2017
2	SPA 1st Submission	FEB. 7, 2020

Mansfield Ski Club

WETLAND & PROPOSED SNOW MAKING POND LOCATION PLAN

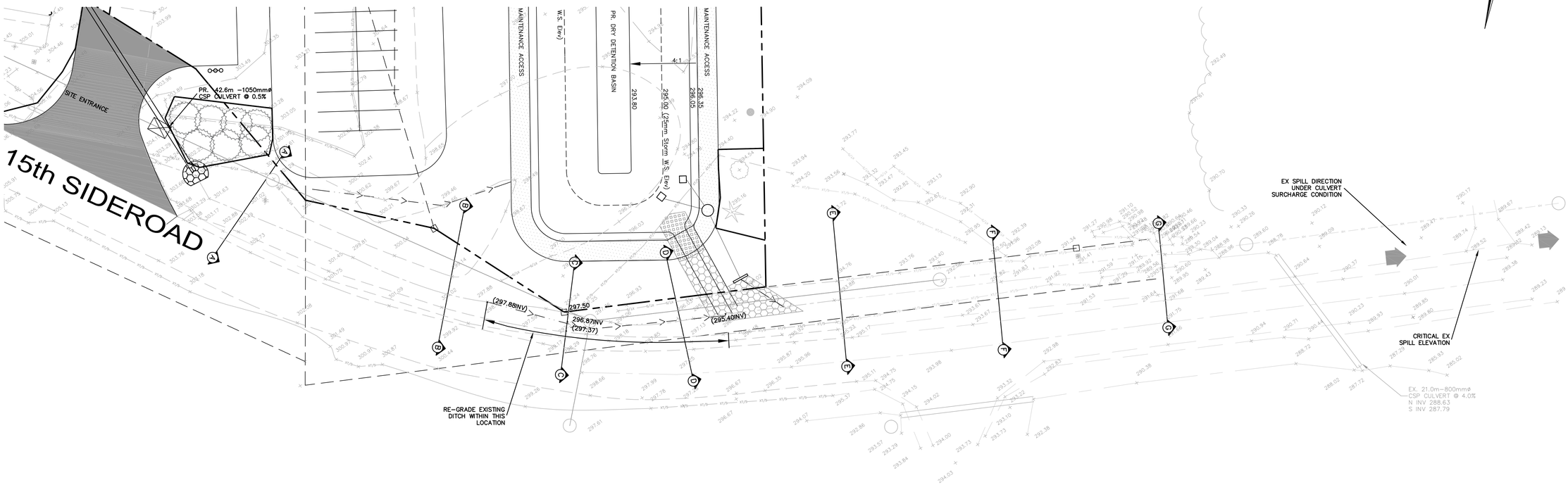
Client:

Mansfield Ski Club

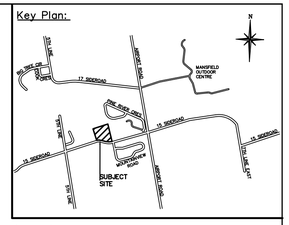
628213 15th Sideroad
PO Box 75 RPO Mansfield,
Mulmur, Ontario
L9V 3M6

WMI & Associates Limited
119 Collier Street
Barrie, Ontario
L4M 1H5
Ph 705-797-2027
www.wmiengineering.ca

Drawn By	Checked By	Drawing No.
TG	JWL	SMPLP
Scale 1:500	Project No. 15-319	



Key Plan:



Legend:

EXISTING FEATURES (EX)

- EX SIB, EX IB, EX UP — EX STD IRON BAR, EX IRON BAR, EX UTILITY POLE, EX BELL PED
- EX WS — EX WATER SERVICE
- EX HYD — EX FIRE HYD.
- NS — EX ST NAME SIGN
- SS — EX STOP SIGN
- x123.45 — EX ELEVATION
- EX FENCE
- GAS — EX U/G GASMAIN
- XB — EX U/G BELL
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PROPOSED FEATURES (PR)

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- x000.00 — PROPOSED ELEVATION
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- PR SWALE
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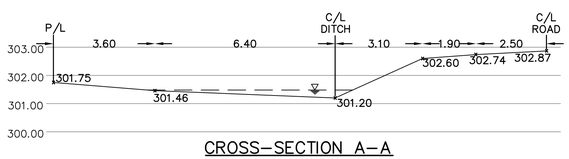
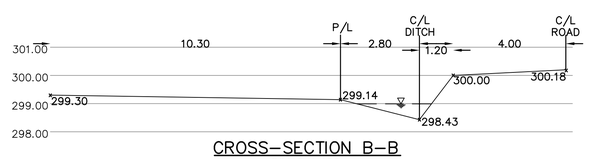
CAUTION
CONTRACTOR TO DETERMINE LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.



CROSS–SECTION A–A

SCALE 1:100

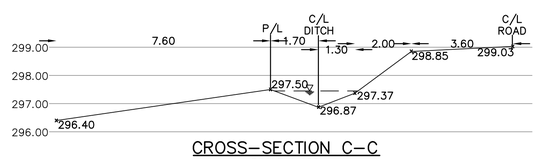
100–YR WATER ELEVATION = 301.48m
VELOCITY = 1.98m/s
PEAK FLOW = 2.066m³/s



CROSS–SECTION B–B

SCALE 1:100

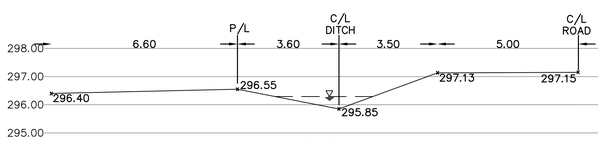
100–YR WATER ELEVATION = 298.99m
VELOCITY = 2.84m/s
PEAK FLOW = 2.066m³/s



CROSS–SECTION C–C

SCALE 1:100

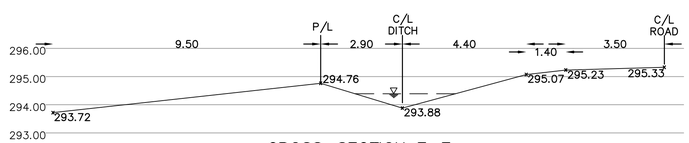
100–YR WATER ELEVATION = 297.45m
VELOCITY = 2.33m/s
PEAK FLOW = 2.066m³/s



CROSS–SECTION D–D

SCALE 1:100

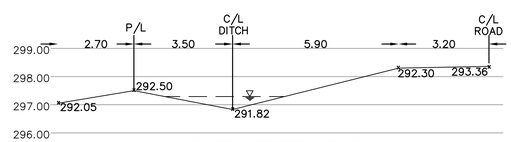
100–YR WATER ELEVATION = 296.29m
VELOCITY = 2.66m/s
PEAK FLOW = 2.066m³/s



CROSS–SECTION E–E

SCALE 1:100

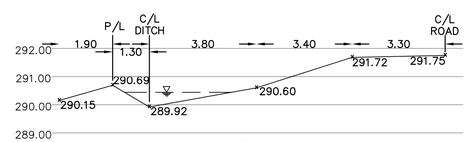
100–YR WATER ELEVATION = 294.39m
VELOCITY = 2.89m/s
PEAK FLOW = 2.661m³/s



CROSS–SECTION F–F

SCALE 1:100

100–YR WATER ELEVATION = 292.29m
VELOCITY = 2.58m/s
PEAK FLOW = 2.661m³/s



CROSS–SECTION G–G

SCALE 1:100

100–YR WATER ELEVATION = 290.44m
VELOCITY = 2.71m/s
PEAK FLOW = 2.661m³/s

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Benchmark: 463.937m

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No.	Issue / Revision	Date
1	Client Review	March 2, 2016
2	FSR Submission	June 23, 2016
3	FSR Submission	Aug. 9, 2017
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Mansfield Ski Club

DOWNSTREAM DRAINAGE OUTLET PLAN

Client:
Mansfield Ski Club
628213 15th Sideroad
PO Box 75 RPO Mansfield,
Mulmur, Ontario
L9V 3M6

WMI & Associates Limited
119 Collier Street
Barrie, Ontario
L4M 1H5
Ph 705-797-2027
www.wmiengineering.ca

Drawn By	Checked By	Drawing No.
TG	JWL	DOP
Scale 1:300	Project No. 15–319	

\\WMI-SERVER\wmi-server\Data\Projects\2015\15-319\CAD\WMI\Issue_No3\Level_1-Models\200124-Baseplan_15-319_1.dwg, DOP, 1:1

NOTES

EROSION CONTROL WORKS TO BE INSPECTED REGULARLY AFTER EVERY RAINFALL AND REPAIRED/REPLACED AS REQUIRED BY THE MUNICIPALITY OR DEVELOPER'S ENGINEER.

ALL DISTURBED AREAS TO BE RESTORED USING TOPSOIL AND SEED IMMEDIATELY UPON ESTABLISHING FINAL GRADES.

EROSION CONTROL WORKS TO BE MAINTAINED UNTIL THE SITE HAS STABILIZED AND REMOVAL IS DIRECTED BY THE MUNICIPALITY OR DEVELOPER'S ENGINEER.

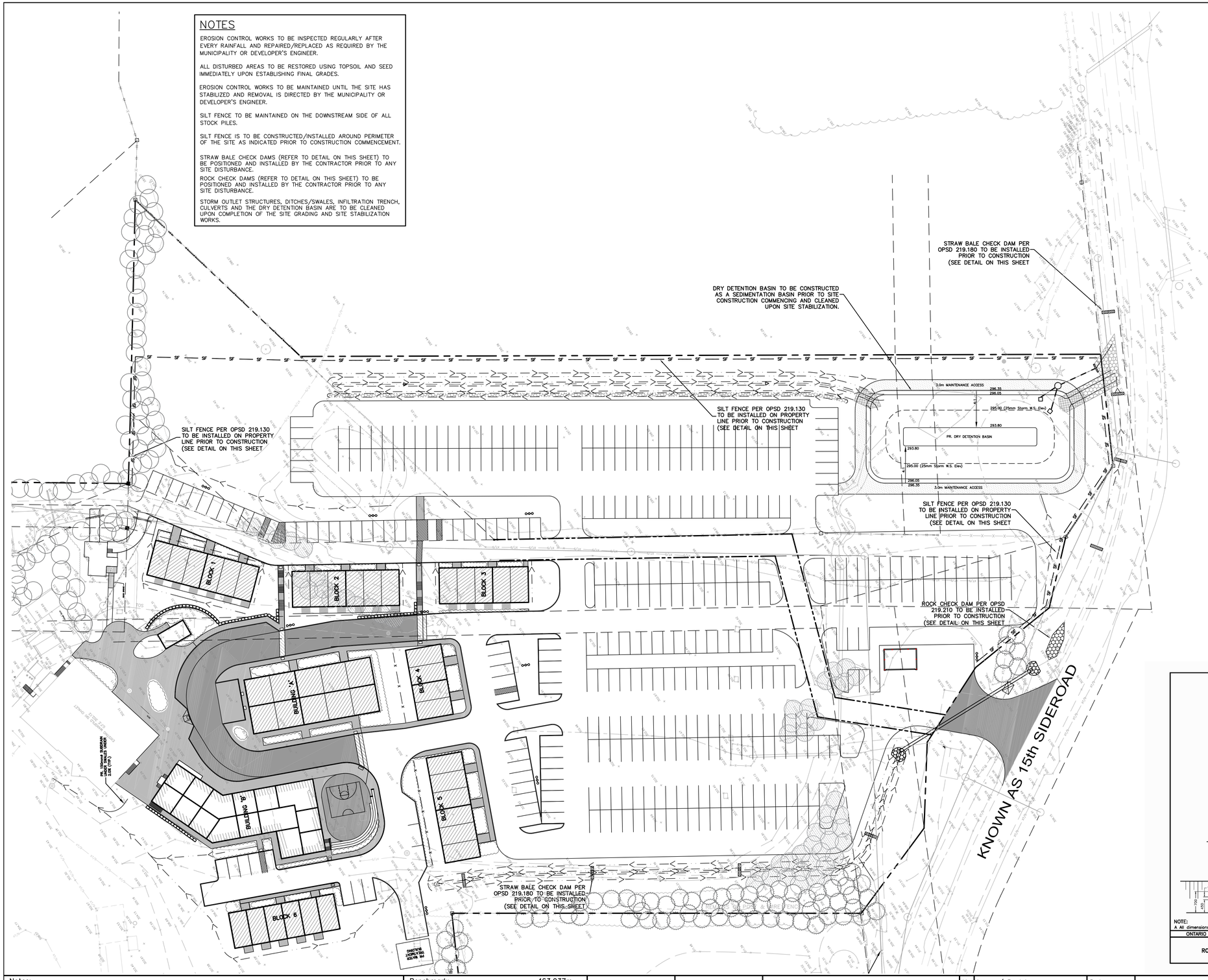
SILT FENCE TO BE MAINTAINED ON THE DOWNSTREAM SIDE OF ALL STOCK PILES.

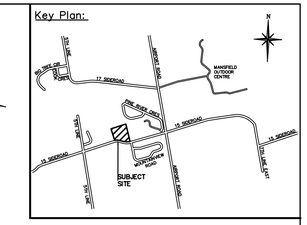
SILT FENCE IS TO BE CONSTRUCTED/INSTALLED AROUND PERIMETER OF THE SITE AS INDICATED PRIOR TO CONSTRUCTION COMMENCEMENT.

STRAW BALE CHECK DAMS (REFER TO DETAIL ON THIS SHEET) TO BE POSITIONED AND INSTALLED BY THE CONTRACTOR PRIOR TO ANY SITE DISTURBANCE.

ROCK CHECK DAMS (REFER TO DETAIL ON THIS SHEET) TO BE POSITIONED AND INSTALLED BY THE CONTRACTOR PRIOR TO ANY SITE DISTURBANCE.

STORM OUTLET STRUCTURES, DITCHES/SWALES, INFILTRATION TRENCH, CULVERTS AND THE DRY DETENTION BASIN ARE TO BE CLEANED UPON COMPLETION OF THE SITE GRADING AND SITE STABILIZATION WORKS.





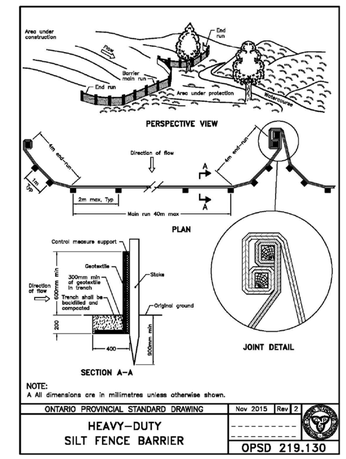
Legend:

EXISTING FEATURES (EX)

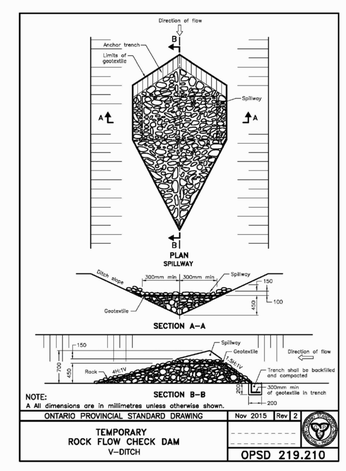
- EX SIB — EX STD IRON BAR
- EX IB — EX IRON BAR
- EX UP — EX UTILITY POLE
- EX BELL PED
- EX WS — EX WATER SERVICE
- EX HYD — EX FIRE HYD.
- NS — EX ST NAME SIGN
- SS — EX STOP SIGN
- x123.45 — EX ELEVATION
- EX FENCE
- GAS — EX U/G GASMAIN
- XB — EX U/G BELL
- HX — EX HYDRO
- EX WV — EX WATERMAIN & VALVE
- EX SAN @ 0.0% — EX SAN SEWER & MH
- EX STM @ 0.0% — EX STM SEWER & MH

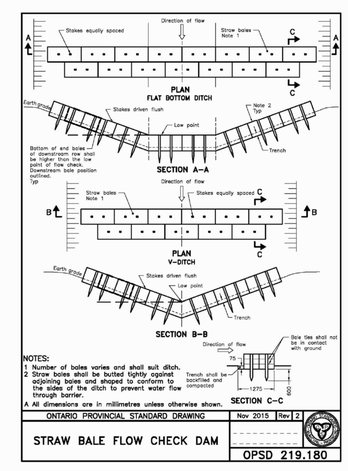
PROPOSED FEATURES (PR)

- NS — PR STREET NAME SIGN
- SS — PR STOP SIGN
- SF — PR SILT FENCE
- PR STREET LIGHT
- W — PR WATER SERVICE
- S — PR SAN SERVICE
- 00mmø W/M — PR HYDRO TRANSFORMER
- PR WATERMAIN
- PR FIRE HYDRANT
- PR WATER VALVE
- 0m–00mmø SAN @ 0.0% — PR SAN SEWER
- MH K — PR SANITARY MANHOLE
- 0m–00mmø STM @ 0.0% — PR STM SEWER
- MH 4 — PR CATCHBASIN MANHOLE
- MH 4 — PR MANHOLE
- PR CATCHBASIN
- x 000.00 — PROPOSED ELEVATION
- x (000.00) — PR. MATCH EXISTING ELEVATION (INTERPOLATED)
- PR SWALE
- PR STRAW BALE CHECK DAM



CAUTION
CONTRACTOR TO DETERMINE LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.





Notes:

1. Unless noted otherwise, the measurements and distances shown on this drawing are shown in meters.
2. Do not scale drawings.
3. It is the contractor's responsibility to verify all dimensions, levels and datums on site and report any discrepancies or omissions to WMI & Associates Ltd. prior to construction.
4. This drawing is to be read and understood in conjunction with all other relevant documents applicable to this project.
5. This drawing is the exclusive property of WMI & Associates Ltd. and the reproduction of any part of this document without prior written consent is strictly prohibited.

Benchmark: 463.937m

ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE DERIVED FROM CANNET NETWORK BASE STATION ORVL HAVING A PUBLISHED ELEVATION OF 463.937m

No.	Issue / Revision	Date
1	Client Review	March 2, 2016
2	FSR Submission	June 23, 2016
3	FSR Submission	Aug. 9, 2017
4	SPA 1st Submission	FEB. 7, 2020

Mansfield Ski Club

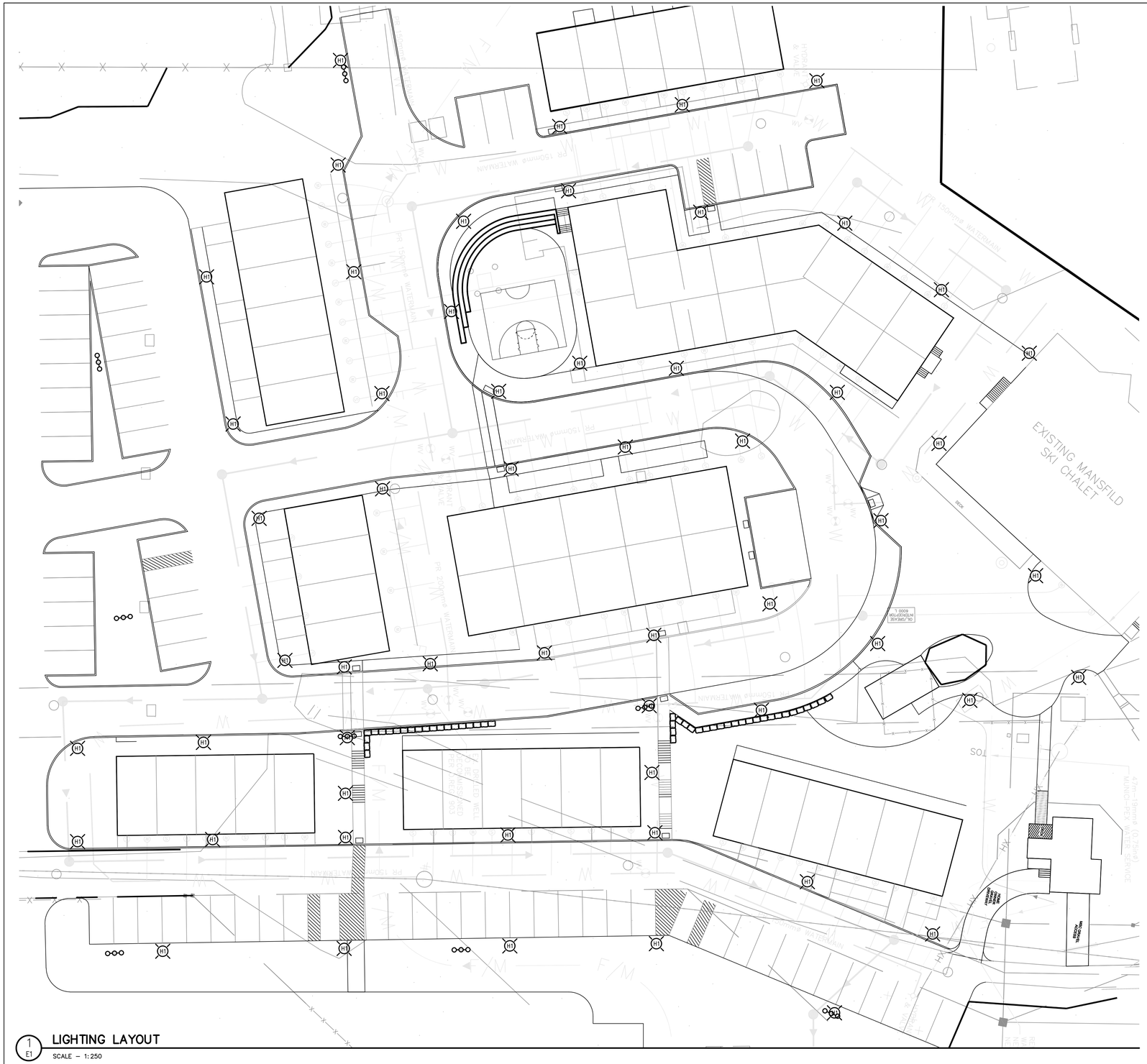
EROSION & SEDIMENT CONTROL PLAN

Client:
Mansfield Ski Club
628213 15th Sideroad
PO Box 75 RPO Mansfield,
Mulmur, Ontario
L9V 3M6

WMI & Associates Limited
119 Collier Street
Barrie, Ontario
L4M 1H5
Ph 705-797-2027
www.wmiengineering.ca

Drawn By	Checked By	Drawing No.
TG	JWL	ESC
Scale 1:500	Project No. 15–319	

\\WMI-SERVER\wmi-server\Data\Projects\2015\15-319\CAD\WMI\Issue_No3\Level_1-Models\200124-Baseplan_15-319_1.dwg, ESC, 1:1

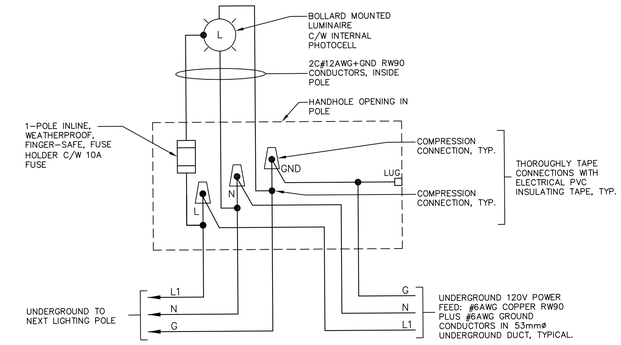


1 E1 LIGHTING LAYOUT

SCALE – 1:250

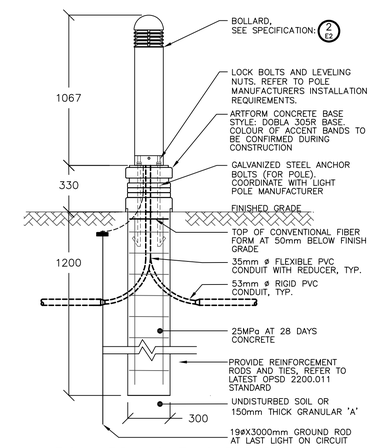
LEGEND:

H1 — PROPOSED BOLLARD LIGHT. SEE DETAIL 3/E1 AND 2/E2



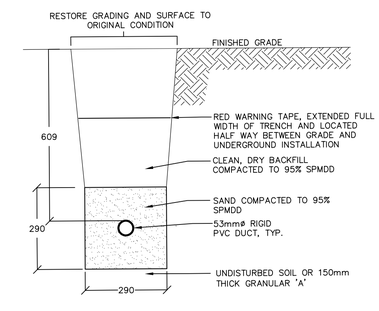
4 E1 LIGHTING WIRING DIAGRAM

– NTS



3 E1 BOLLARD LIGHTING TYPICAL INSTALLATION

– NTS
– FOR INSTALLATION DETAILS REFER TO OPSD 2200.041



2 E1 TYPICAL LIGHTING DUCTBANK DETAIL

NTS

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LICENSED PROFESSIONAL ENGINEER — A.DIXON 100223176 31JAN'20 — PROVINCE OF ONTARIO

LICENSED PROFESSIONAL ENGINEER — G. G. RUNGE 31JAN'20 — PROVINCE OF ONTARIO

No.	ISSUE OR REVISION	DATE DD/MM/YY	ISSUER
1	ISSUED FOR CLIENT APPROVAL	30/01/20	AD
2	ISSUED FOR TOWN APPROVAL	31/01/20	AD

RUNGE ENGINEERING

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www.rainengineers.ca

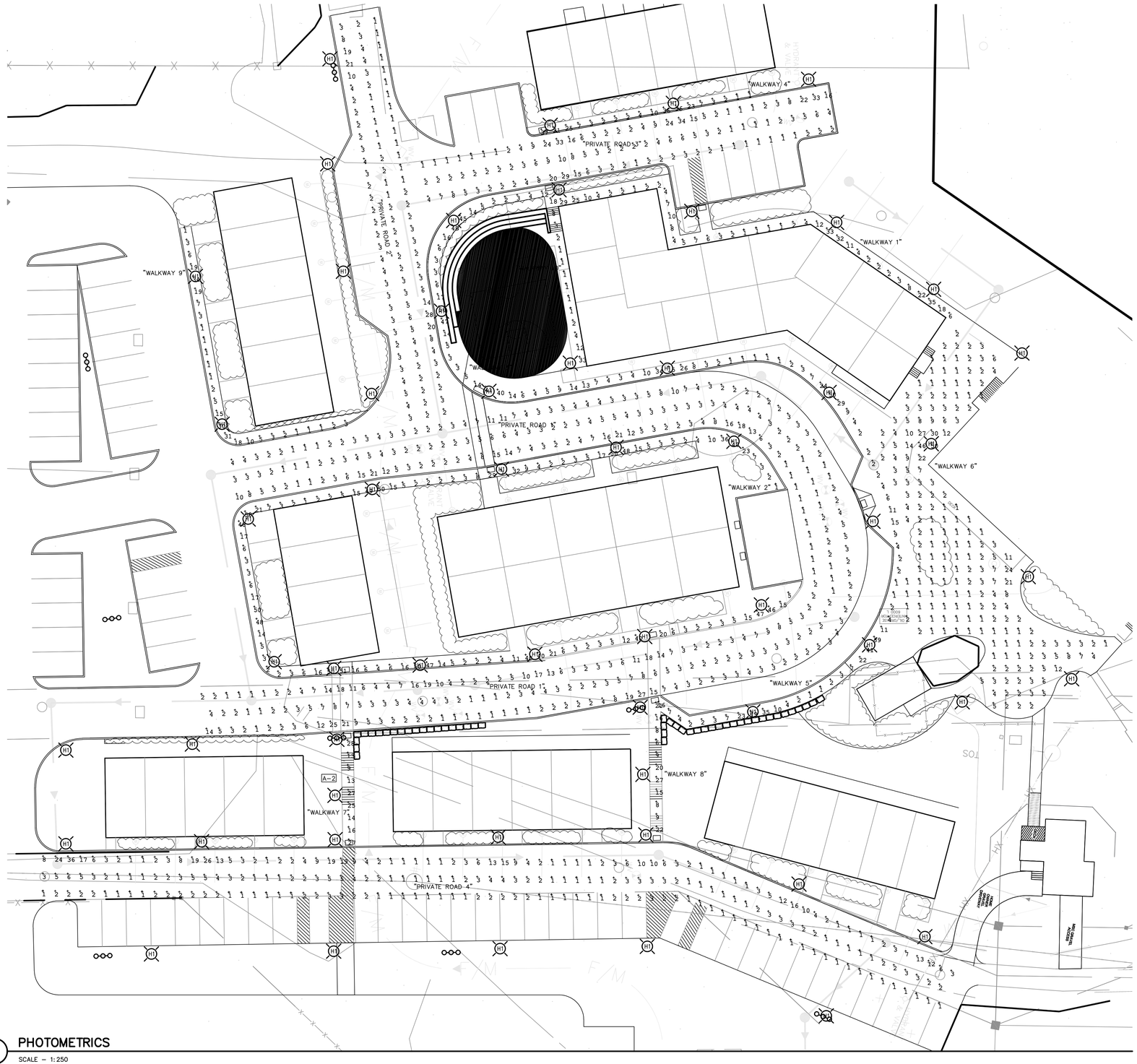
Client: MASNFIELD SKI CLUB

628213 SIDE ROAD 15
MULMUR, ONTARIO
L9V 0T9

Project Name: MANSFIELD SKI CLUB VILLAGE

Drawing Title: LIGHTING LAYOUT

Drawn By	Checked By	Drawing No.
AD	GGR	E1
Scale	Project No. 19179P	

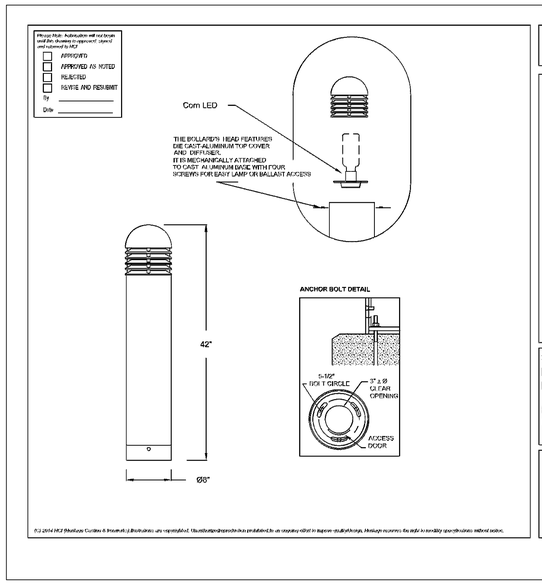


1 E2

PHOTOMETRICS

SCALE – 1:250

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
Private Road 1	Illuminance	Lux	4.26	27	1	4.26
Private Road 2	Illuminance	Lux	3.52	28	1	3.52
Private Road 3	Illuminance	Lux	5.46	34	1	5.46
Private Road 4	Illuminance	Lux	3.25	36	1	3.25
Walkway 1	Illuminance	Lux	8.54	35	1	8.54
Walkway 10	Illuminance	Lux	6.29	33	1	6.29
Walkway 2	Illuminance	Lux	14.68	51	1	14.68
Walkway 3	Illuminance	Lux	12.70	50	1	12.70
Walkway 4	Illuminance	Lux	12.33	37	1	12.33
Walkway 5	Illuminance	Lux	9.68	49	1	9.68
Walkway 6	Illuminance	Lux	3.61	50	1	3.61
Walkway 7	Illuminance	Lux	19.11	28	9	2.12
Walkway 8	Illuminance	Lux	14.64	27	6	2.44
Walkway 9	Illuminance	Lux	8.07	34	1	8.07



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Approval Drawing

B804-42-18WLED-CORNLAMP-

Diffuser Type: Clear

Diffuser Material: Acrylic

Hardware: Stainless Steel

Top: Die Cast /Extrusion Aluminum

Optical System: External Louver IES V

Driver: LED power factor, mounted on a removable plate.

Wattage : 18W (LED)
Voltage : 120V~277V
CCT : 3000K

Anchor Bolts: Wedge/Through Anchor bolt 5" L. Anchor bolts and template supplied by HCI.

Bolt Circle Diameter: Ø5-1/2"

Finish: Electrostatically applied thermoset Polyester powder-coat finish.

Colour: RAL9011, Black.

Sales: KIM Designer: ARSALAN
Date: JAN-29-2020 Drawing No.:15465-V15
Model: B804-CAC-18WLED-CORNLAMP-3000K-120V~277V-IES5-RAL9011-BLACK
Project :MANSFIELD SKI CLUB (QTY01)
REP : STL LIGHTING, ON (CANADA)

Please Note: Fabrication will not begin until this drawing is approved, signed and returned to HCI

HCI Roadway Outdoor & Ornamental
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Toll Free Canada & USA 1-800-267-3175
E: sales@hclighting.com WEB: www.hclighting.com

POLE ASSEMBLY DESCRIPTION AND CATALOG NUMBERS

TYPE H1 BOLLARD ASSEMBLY

BOLLARD: HCI LIGHTING
MODEL B805 SERIES
CATALOGUE NUMBER:
- 120VAC
- 18 WATTS
- 3000 DEG. CCT
- COLOUR BLACK
- FUSE
- 10kV SPD

LAMP: CORN BULB

FOR MODEL NUMBER INFORMATION REFER TO SPECIFICATIONS ON THIS DRAWING

2 E2

LIGHTING SPECIFICATIONS

– NTS

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www.raiengineers.ca

Client
MASNFIELD SKI CLUB
628213 SIDE ROAD 15
MULMUR, ONTARIO
L9V 0T9

Project Name
MANSFIELD SKI CLUB VILLAGE

Drawing Title
PHOTOMETRICS

Drawn By	Checked By	Drawing No.
AD	GGR	E2
Scale	Project No. 19179P	